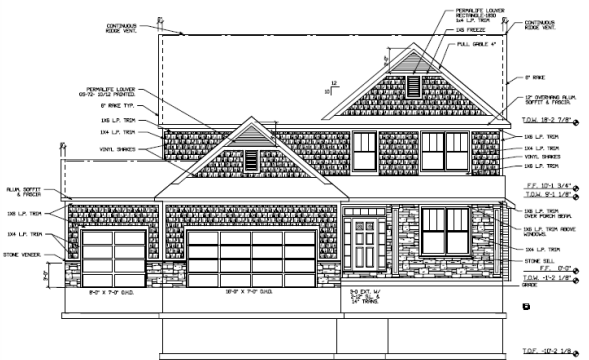


278472 **Lot 2 Crane Circle, Okemos, MI 48864** **Residential Active** **\$800,000**



Front Elevation
Lot 2 Crane Circle

County: Ingham
City: Okemos
Key: None
Township/Tax Authority: Meridian Twp
Property Sub-Type: Single Family Residence
Association Name: Sanctuary HOA
Entry Level: 1
List Price: \$800,000
Baths Full - Total: 4
Baths Half - Total: 0
Baths - Total: 4
Bedrooms Total: 4
Cross Street: Robins Way/Crane Circle

Lot Acres: 0.59
Lot Size Dimensions: 89x244
Frontage Length: 89
School District: Okemos
Elementary School District: Okemos
Subdivision: Sanctuary
Home Warranty: Yes
Reserved Items: No
Year Built: 2024
Builder Name: Giguere Homes
Occupancy: Per Contract
Building Area Total SqFt: 4,160
Total Livable Area: 2,812
Association Name: Sanctuary HOA
Association Fee: \$350
Association Fee Frequency: Annually
Association Fee/Yr:

Directions: Hulett Rd./Loon Lane-Loon Lane to Robins Way to Crane Circle on Left
Legal: LOT 2 CRANE CIRCLE; NEW CHILD PARCEL LEGAL DESCRIPTION WILL BE CREATED FROM THIS PARENT PARCEL; A PARCEL OF LAND IN SE 1/4 OF SEC 32 T4N R1W BEG AT E 1/4 COR OF SCE 32-S89D45' 08"W ALNG E-W 1/4 LN 700 FT S00D 28'37"E 458 FT TO N LN OF SANTUARY SUB -N89D45'08"E ALNG SD N LN 700 FT TO E LN OF SD SEC - N00D28'37"W ALNG SD SEC LN 458 FT TO POB(7.36 A) (SPLIT/COMBINED ON 08/01/2019 FROM 33-02-02-32-400-005

Parcel #: 00000000000000	Tax Year: 2023	Taxes: \$0
State Eq Value: \$0	Taxable Value: \$0	Zoning: Residential
#Full Baths 3: 0	#Half Baths 3: 0	Level 1 Finished Area: 1,348
#Full Baths 2: 3	#Half Baths 2: 0	Level 2 Finished Area: 1,464
#Full Baths 1: 1	#Half Baths 1: 0	Level 3 Finished Area: 0
#Full Baths B: 0	#Half Baths B: 0	Below Grade Finished Area: 0
		Above Grade Finished Area: 2,812
		SqFt - Basement: 1,348

Room Name	Level	Dimensions	Room Features	Remarks	Room Name	Level	Dimensions	Room Features	Remarks
Primary Bedroom	First	15.2 x 16.4			Bedroom 2	Second	13.6 x 11.6		
Living Room	First	19.1 x 16.4			Bedroom 3	Second	13.4 x 12		
Dining Room	First	11 x 16.4			Bedroom 4	Second	16 x 11		
Laundry		7.3 x 7			Kitchen	First	10.8 x 16.4		
					Office	First	13.4 x 13		

Appliances: Dishwasher; Disposal; Gas Range; Gas Water Heater; Humidifier; Ice Maker; Microwave; Range Hood; Refrigerator; Self Cleaning Oven; Stainless Steel Appliance(s); Vented Exhaust Fan
Basement: Bath/Stubbed; Egress Windows; Full; Sump Pump
Community Features: Sidewalks
Cooling: Central Air; Exhaust Fan
DPR: DPR Eligible: No
Exterior Features: Lighting; Rain Gutters
Electric: 200+ Amp Service
Exterior: Stone; Vinyl Siding
Flooring: Carpet; Vinyl; See Remarks
Foundation Details: Concrete Perimeter
Fireplace Features: Fireplace Total: 1; Electric; Great Room
Heating: Forced Air; Natural Gas
Interior Features: Double Vanity; Entrance Foyer; High Ceilings; Kitchen Island; Open Floorplan; Pantry; Recessed Lighting; Smart Thermostat; Soaking Tub; Stone Counters; Walk-In Closet(s)
Improvements: Great Room

Land & Acreage: 1/2+ thru 1 Acre
Lot Features: Back Yard; Cul-De-Sac; Front Yard; Level; Many Trees; Subdivided; Views; Wooded
Laundry Features: Laundry Room; Main Level
Levels: Two
Property Conditions: Proposed Build
Parking Features: Garage Spaces: 3; Attached; Concrete; Driveway; Finished; Garage; Garage Door Opener; Garage Faces Front
Patio & Porch Features: Deck; Front Porch; Porch
Property Use: Primary
Roof: Shingle
Road Frontage Type: City Street
Security Features: Firewall(s); Smoke Detector(s)
Road Surface Type: Paved
Sewer: Public Sewer
Terms: Cash; Conventional
Utilities: Cable Available; Electricity Connected; Natural Gas Connected; Phone Available; Sewer Connected; Underground Utilities; Water Connected
View: Neighborhood; Trees/Woods
Window Features: Insulated Windows; Low Emissivity Windows; Screens
Water Source: Public

Public Remarks: Proposed 3 car garage Ranch Plan in Sanctuary Phase III. The open concept plan offers 9' ceilings on main level, a flex room with full bath, a laundry room and 5' mudroom bench coming in off garage. the great room offers 5' gas fireplace, the kitchen sports a walk-in pantry & island. Upstairs the owners suite offers a private stool rm, soaking & walk-in shower with ample WIC. Bedrooms 2, 3, 4 have spacious WICs. Bed 2 has private ensuite and bed 3 & 4 has a jack & jill setup. Basement offers optional 5th bedroom & large lower level rec room.

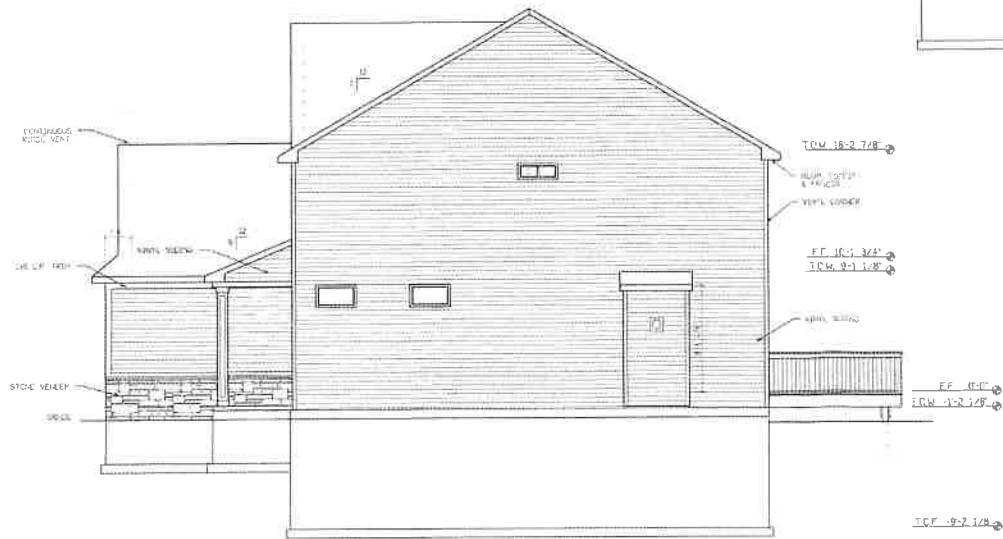
Buyer Agency Fee: 3%

James Giguere
 Giguere Realty & Development, L.L.C.
 6200 Pine Hollow Dr., Ste 100
 East Lansing, MI 48823
 517-204-0818
jim@giguerehomes.com



Front Elevation

(1/4" = 1'-0")



Right Elevation

(1/4" = 1'-0")

SYMBOL	DESCRIPTION	DOOR / WINDOW SCHEDULE	DOOR	WHITE
A	FRONT ENTRY DOOR	36" X 80" SLIP DOOR	601	601
B	FRONT ENTRY WINDOW	36" X 60" DOUBLE HUNG	601	601
C	REAR ENTRY WINDOW	36" X 60" DOUBLE HUNG	601	601
D	REAR ENTRY DOOR	36" X 80" SLIP DOOR	601	601
E	REAR ENTRY WINDOW	36" X 60" DOUBLE HUNG	601	601
F	REAR ENTRY WINDOW	36" X 60" DOUBLE HUNG	601	601
G	REAR ENTRY WINDOW	36" X 60" DOUBLE HUNG	601	601
H	REAR ENTRY WINDOW	36" X 60" DOUBLE HUNG	601	601
I	REAR ENTRY WINDOW	36" X 60" DOUBLE HUNG	601	601
J	REAR ENTRY WINDOW	36" X 60" DOUBLE HUNG	601	601
K	REAR ENTRY WINDOW	36" X 60" DOUBLE HUNG	601	601
L	REAR ENTRY WINDOW	36" X 60" DOUBLE HUNG	601	601
M	REAR ENTRY WINDOW	36" X 60" DOUBLE HUNG	601	601
N	REAR ENTRY WINDOW	36" X 60" DOUBLE HUNG	601	601
O	REAR ENTRY WINDOW	36" X 60" DOUBLE HUNG	601	601
P	REAR ENTRY WINDOW	36" X 60" DOUBLE HUNG	601	601
Q	REAR ENTRY WINDOW	36" X 60" DOUBLE HUNG	601	601
R	REAR ENTRY WINDOW	36" X 60" DOUBLE HUNG	601	601
S	REAR ENTRY WINDOW	36" X 60" DOUBLE HUNG	601	601
T	REAR ENTRY WINDOW	36" X 60" DOUBLE HUNG	601	601
U	REAR ENTRY WINDOW	36" X 60" DOUBLE HUNG	601	601
V	REAR ENTRY WINDOW	36" X 60" DOUBLE HUNG	601	601
W	REAR ENTRY WINDOW	36" X 60" DOUBLE HUNG	601	601
X	REAR ENTRY WINDOW	36" X 60" DOUBLE HUNG	601	601
Y	REAR ENTRY WINDOW	36" X 60" DOUBLE HUNG	601	601
Z	REAR ENTRY WINDOW	36" X 60" DOUBLE HUNG	601	601

* ALL FRONT ELEVATION WINDOWS TO HAVE GRILLS BETWEEN GLASS
 * ALL WINDOWS & SLIDING DOOR TO HAVE SITE BUILT JAMB EXTENSIONS

DATE: 11/23/11
 FILE: 111111

LOT #1 SANCTUARY III
 VIJAY RES. GIGUERE HOMES

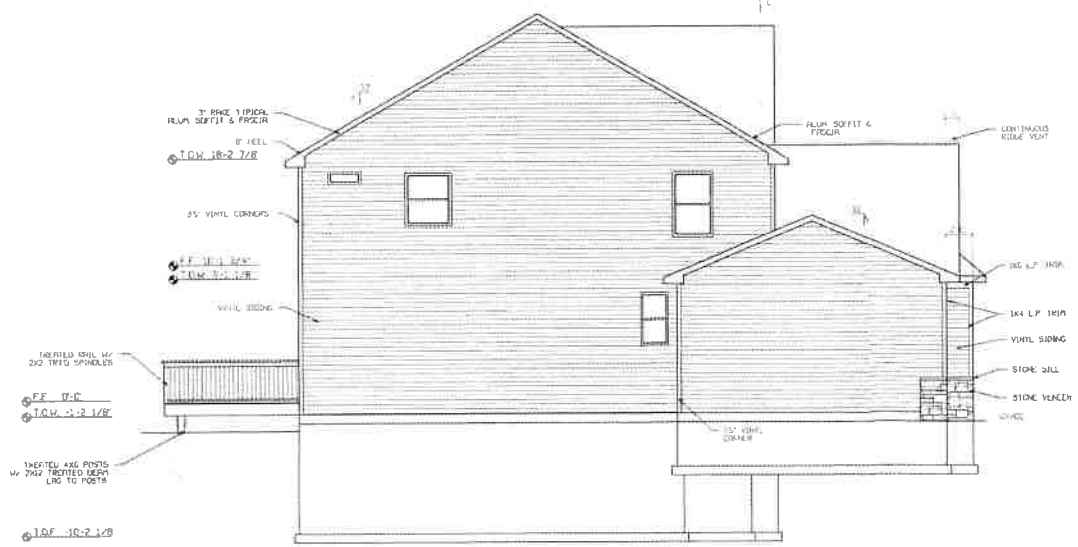
LOT #1 SANCTUARY III
 VIJAY RES. GIGUERE HOMES

GIGUERE HOMES
 630 PARK AVENUE, SUITE 100, EAST LANSING, MI 48023
 (313) 771-3300 FAX 313-771-7201

SHEET NO.
 1



Rear Elevation
1/4" = 1'-0"



Left Elevation
1/4" = 1'-0"

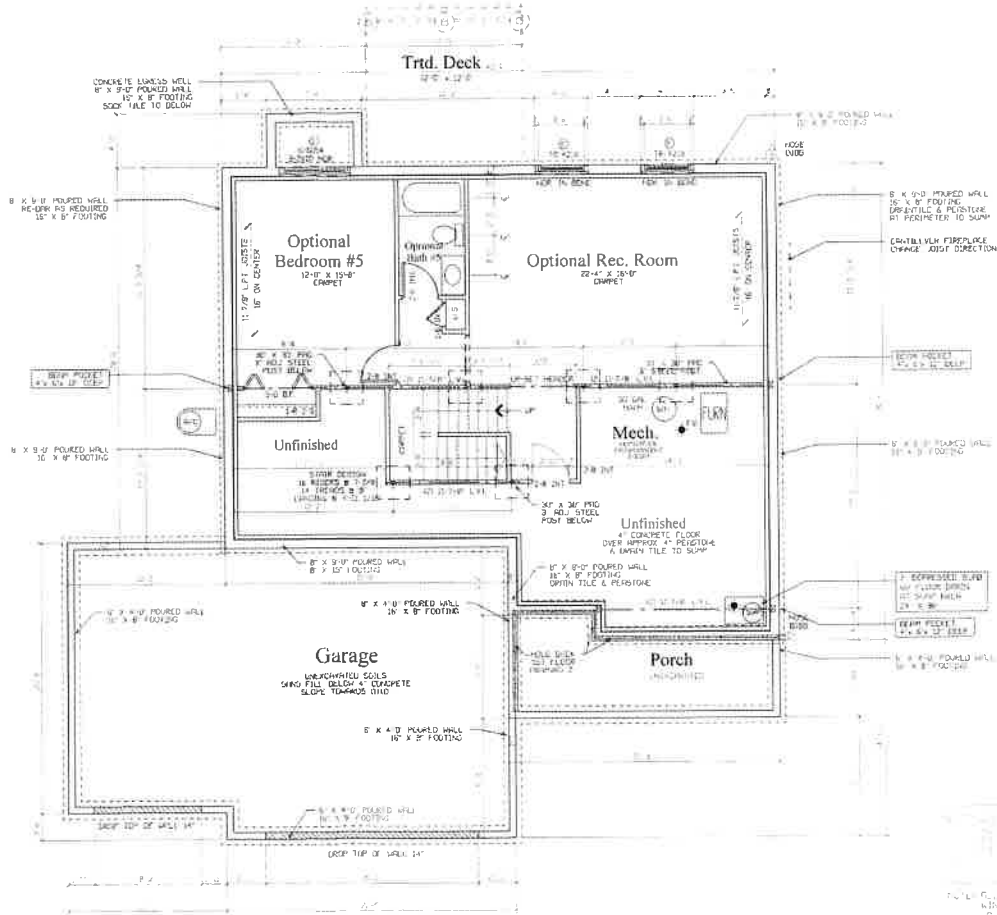
SCALE
DATE
DRAWN BY
CHECKED BY
PROJECT NO.

LOT #1 SANCTUARY III
VIJAY RES. GIGUERE HOMES

LOT #1 SANCTUARY III
VIJAY RES. GIGUERE HOMES

GIGUERE HOMES
6200 PINE HOLLOW DR. SUITE 100, EAST LANSING, MI 48203
(571) 339-3600 FAX 539-7201

SHEET NO.
2



DATE: 11/15/05
 DRAWN BY: J. GIGIERE
 CHECKED BY: J. GIGIERE
 FILE: 339-1201

PROJECT NO.
 339-1201

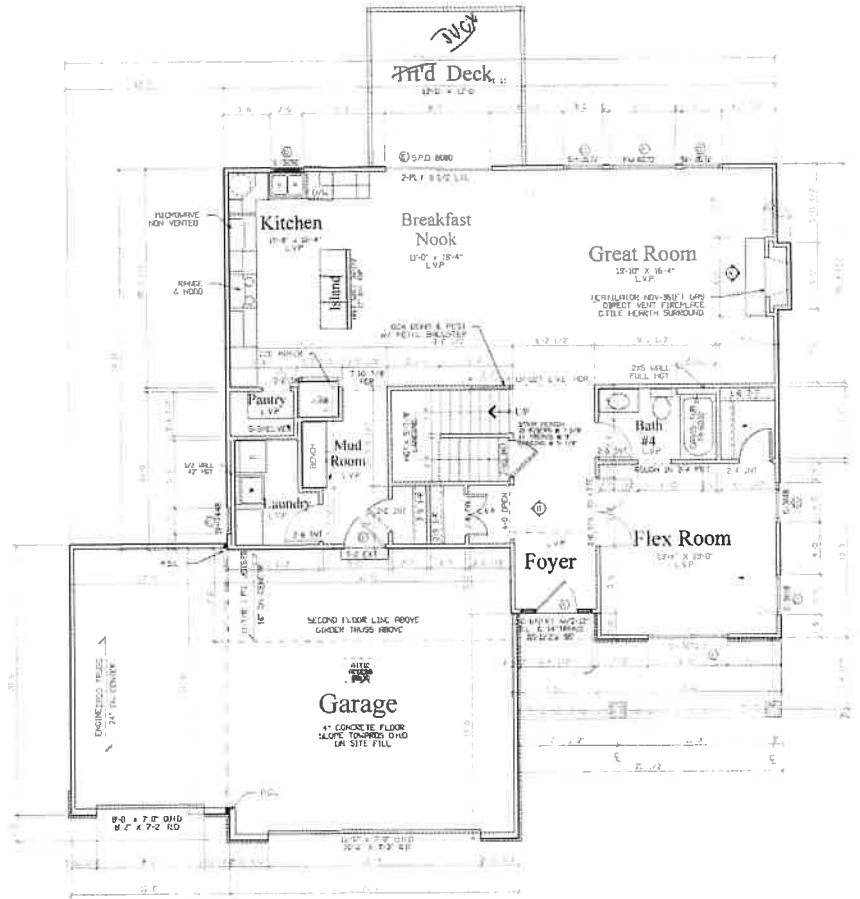
LOT #1 SANCTUARY III
VIJAY RES GIGIERE HOMES

GIGIERE HOMES
 1600 PINE HOLLOW DR SUITE 100 EAST FURNACE, MI 48623
 (517) 339-3600 FAX 339-1201

1. 1/4" = 1'-0"
 2. ALL DIMENSIONS ARE IN FEET AND INCHES
 3. ALL WALLS ARE 8" THICK UNLESS NOTED OTHERWISE
 4. ALL FLOORS ARE CONCRETE UNLESS NOTED OTHERWISE
 5. ALL ROOFS ARE 12/12 UNLESS NOTED OTHERWISE
 6. ALL CEILING ARE 9'-0" UNLESS NOTED OTHERWISE
 7. ALL DOORS ARE 3'-0" WIDE UNLESS NOTED OTHERWISE
 8. ALL WINDOWS ARE 4'-0" WIDE UNLESS NOTED OTHERWISE
 9. ALL FINISHES ARE AS NOTED ON SHEETS
 10. ALL FIXTURES AND EQUIPMENT ARE AS NOTED ON SHEETS

OPTIONAL FINISH LL 037 OF

3



NOTES:
 1. DIMENSIONS ARE SHOWN TO CENTER UNLESS NOTED OTHERWISE.
 2. FINISH FLOOR HEIGHT IS 9'8" UNLESS OTHERWISE NOTED. ALL WINDOW HEADS ARE 7'10" TO 7'11" TO 7'12" TO 7'13".
 3. SECOND FLOOR WALLS ARE 8" 1/2" WITH 2X10 MEMBERS AT 2' O.C. OVER SILL.
 4. ALL WINDOWS ARE 24" MIN. OPENING IN SIZE EQUALS UNIT SIZE IN INCHES.
 5. MINIMUM OPENING OPENING EQUALS MINIMUM UNIT SIZE.
 6. ALL DOOR OPENING SHOWN ON PLAN.
 7. PROVIDE AND INSTALL ALL NECESSARY FRAMING AND JOIST STRAPPING TO BE SHOWN TO FURNISH EFFECTIVE SPACER BOTH VERTICALLY & HORIZONTALLY.
 8. MINIMUM JOIST OVER SHEETING IN ALL AREAS INCLUDES BRACKET BOLTS PERMITTED TO BE USED.
 9. DECK MATERIALS TO BE 2X4 SPACED AT APPROVED INTERVALS PER LOCAL BUILDING CODE.
 10. ALL SILL FINISHES TO BE PERMITTED ATTACHED WITH APPROVED FINISHES.
 11. PROVIDE 2X4 BLOTTING AT BOTH SIDES OF EACH WINDOW FOR PROTECTIVE WINDOW TREATMENTS PER LOCAL BUILDING CODE.
 12. EXTERIOR FLOOR FINISHES TO BE PERMITTED.
 13. FINISH FLOOR TO BE PERMITTED PER LOCAL BUILDING CODE.
 14. ALL DIMENSIONS ARE IN FEET AND INCHES.
 15. ALL DIMENSIONS ARE IN FEET AND INCHES.

FIRST FLOOR - 1348 SF
 SECOND FLOOR - 1484 SF
 TOTAL HOUSE - 2832 SF
 GARAGE - 228 SF

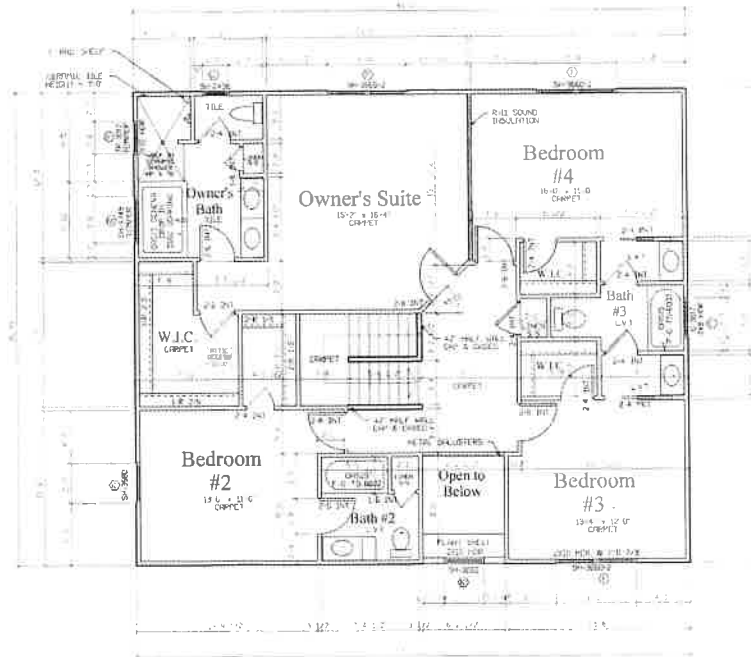
DATE: 11/2/23
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]
 PROJECT: [Signature]

1/1/23
 1/1/23
 1/1/23

LOT #1 SANCTUARY III,
 VIJAY RES. GIGUERE HOMES

GIGUERE HOMES
 6200 PINE HOLLOW DR SUITE 100 EAST LANSING, MI 48023
 (517) 339-3600 FAX 339-7201

4



NOTES

1. ALL DIMENSIONS ARE SHOWN TO STUD CENTER UNLESS OTHERWISE SPECIFIED.
2. STRAPPING IS TO BE WALL HEIGHT IS 8'-0" FOR BRICKS, OTHER WALL HEIGHTS WILL VARY AS NECESSARY PER 7-10 V.P.
3. SECOND FLOOR WALLS ARE AS LIVED WITH 2X4S & GYPSUM AT 7'-0" TYP. W.P. UNLESS OTHERWISE NOTED.
4. ALL WINDOWS ARE TO BE 4X6 OR 6X8 WITH 2X4S IN SILL & CASING SET INTO THE FRAME.
5. INTERIOR DOOR FROM EXISTING CORNER, MINIMUM WIDTH = 3'-0", DOORWAY HEIGHT = 7'-0".
6. DOOR WILL OPERATE SWING ON PLUMB.
7. PROVIDE AND INSTALL ALL NECESSARY HANGING AND END BRACKETING TO ALLOW FOR LEAN IN EFFECTIVE BRACKETING BOTH VERTICALLY & HORIZONTALLY.
8. BATHS, 2X4S OVER EXISTING AT ALL AREAS INCLUDE SPEED WALLS UNLESS OTHERWISE NOTED.
9. ALL WALLS TO BE REINFORCED BY APPROVED METHODS. INSTALL FLASHING AS REQUIRED.
10. ALL SILL PLATES TO BE ALSO TREATED WITH APPROVED PRODUCTS.
11. PROVIDE 2X4S BRACKETING ON BOTH SIDES OF CORNER JOISTS FOR EXTERIOR WOODEN FINISHINGS AND IN GUTTERS FOR DOWNSPOUT PROTECTION UNLESS NOTED OTHERWISE.
12. IMPROVE DRAINAGE FOR TOWER BRMS IN EACH UNIT AS REQUIRED.
13. * UPPER INDICATED OR "U" * LOWER INDICATED OR "L" *

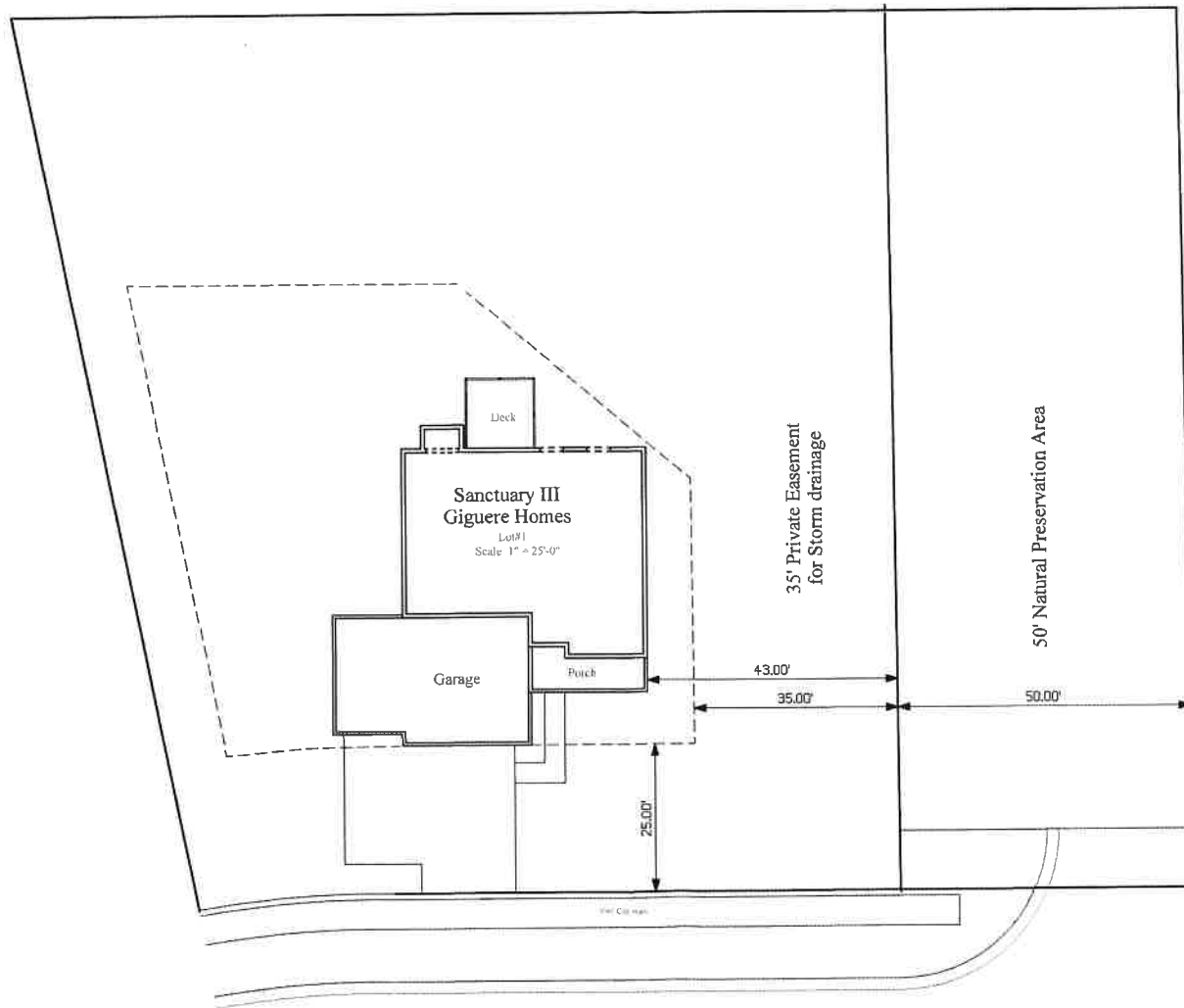
REVISED
 DATE: 11/15/11
 BY: JAY
 TITLE: ARCHITECT

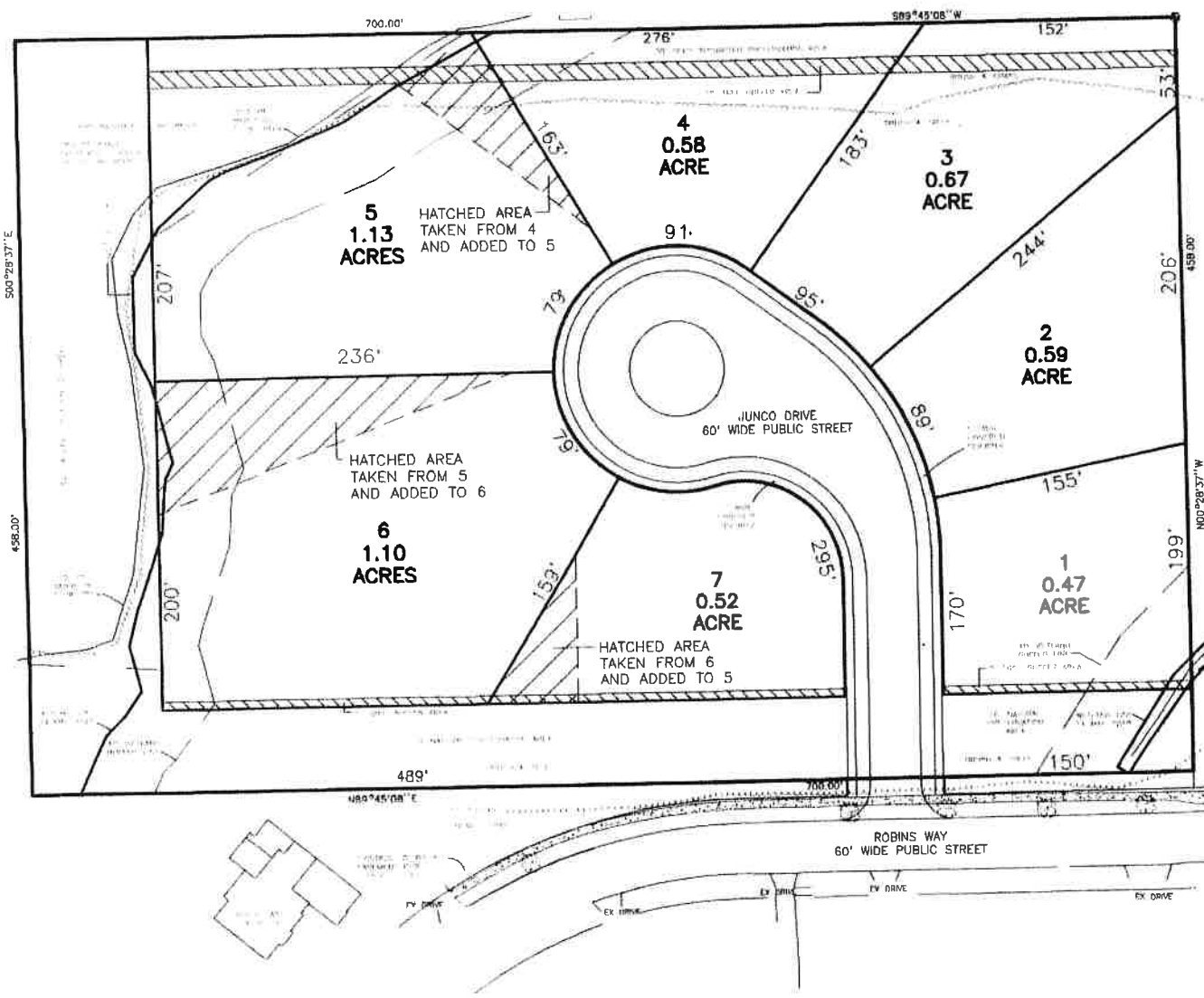
QUESTIONS?

LOT #1 SANCTUARY III,
 VT JAY RES. GIGUERE HOMES

GIGUERE HOMES
 100 PARK DRIVE, SUITE 101, WINDING HILL, VT 05603
 (817) 355-3400 FAX 359-7081

SHEET NO.
5





SANCTUARY III
09-20-2023

PROPOSED CHANGES TO
LOT LINE LOCATIONS



SPECIFICATION SHEET
Sanctuary

Date: 11-2-2023

Builder's Job Number: Sanctuary ___

Buyer:

Lot: # 1 Subdivision: Sanctuary Phase #3

Basement: Unfinished / Option for Finished Basement

1) Foundation: 9' x 8" poured concrete wall except 8' x 10" in brick area or per print. 4' x 8" garage frost walls or per print. Weep tile covered with pea stone inside and outside footings to sump crock or gravity feed line or walkout basement. 4" bleeder tile under basement window(s) to footing drains. Whitewash brush coat inside walls. Damp proofing to code. **(1) Egress window & (2) Transoms**

2) Frame Work: 9'-1 1/8" first floor walls with 8'-1 1/8" second floor wall heights.
Wood basement beams and steel columns by builder.
First floor deck: Engineered **T.J.I. floor** joists or equal per print or code whichever is greater.
Sub floor: 3/4" T&G OSB glued, nailed and screwed
Exterior walls: 2x4 studs, or per print, 16" on center with 7/16 OSB sheathing.
Interior walls: 2x4 studs, 16" o.c. or per print. All frame lumber #2 or better.
Roof framing: Engineered trusses 24" o.c., or rafters per code, 1/2" OSB roof sheathing with clips on trusses and 7/16" OSB with clips on rafters.
Roofing: **CertainTeed Landmark** shingles with ice & water shield rolled roofing at eaves and for valley base with 15 lbs. felt underlayment. Attic ventilation by ridge and soffit vents.
Installation of pre-finished gutters and down spouts as required for proper drainage.
Entire building wrapped in "Perma Wrap" or equivalent material per code.
Option for L.L. Finish per print

3) Insulation: Energy seal package included to meet Michigan Energy Code
Wall cavity: **R-13 fiberglass batts** or equal includes Energy Seal Package.
Attic: **Blown cellulose insulation** equal to **R-38** factor.
Garage: Insulate house/garage wall. No insulation on garage sidewalls, front wall or ceiling.
Bond: **R-19 Fiberglass insulation.**
Cantilever spaces: **R-30 Fiberglass Insulation.**
Finished basement perimeter: 2x4 framing 24" on center with **R-13 F/G** batt insulation
Unfinished basement area: 2x4 framing 24" on center with **R-13 F/G** batt insulation at perimeter walls per plan. All window and exterior door jambs packed with fiberglass insulation. All exterior duct and pipe openings are sealed with caulk or equal.

4) Siding: Vinyl Siding and Cultured Stone, per print.

Vinyl Siding: **Variform "American Herald"** standard selections

Fascia: Aluminum (Color: per selections)

Exterior trim: Front elevation to be **LP Smart Trim**, per plan. All other corners to be vinyl.

Soffit: Continuous vented aluminum (Color: per selections)

5) Windows: Jeld-Wen single hung windows and sliding glass doors, **Low-E** glass w/ site built MDF Jamb extensions. Type and size as per blueprint.

Color: White **Grills:** between the glass per elevations

6) Masonry: Cultured stone veneer per elevation. **Group #1 standard selections**

7)Fireplace: Heatilator NDV-36-IFT. R.O. (42"x36"x 20").

Fireplace Face Family room: w/ceramic tile surround **Group #1**

Mantle: Standard box mantel stained.

Hearth: Flush ceramic tile 18" out from floor

Doors: Fixed glass face.

Fan: Included with switch for operation for fireplaces

8) Doors and Hardware:

Front door system: Fiberglass entry door (6 panel insulated) painted finish with (2) sidelights and (1) transom, (2) lights in the door per print.

Exterior doors: Insulated six panel steel, 20-minute fire door at garage or equal, per print.

Interior doors: Hollow core "**Cambridge**" smooth, two panel.

Garage doors: C.H.I. OHD, embossed steel, non-insulated raised panel, 16'x7', & 8'x7' series-**#4250**. (2) 1/2 HP operator(s) model **#8365** with integrated photocell safety sensor, two hand control(s).

9) Hardware: Kwikset Satin Nickel.

Kwikset "Chelsea" series **801CE LIP Satin Nickel** grip handle on main exterior entry.

Kwikset 780 series dead bolts on all exterior doors (except sliding glass doors).

Halifax Lever design **740H Kwikset Signature** series keyed locks on exterior doors (except main entry and sliding glass doors and French doors as applicable).

Halifax Lever design **730H & 720H Satin Nickel** series on interior doors (privacy sets at baths and bedrooms, passage sets elsewhere).

Taymor: Chrome Towel bars: 1 per full bath only. 1-Toilet paper holder & towel ring all baths. Bi-fold knob per standard selection. Doorstops installed on all active doors.

10) Plumbing: Supply Lines: PEX; Waste Lines: P.V.C.

Owners Bath: Color: **White**; Finish: **Satin Nickel**

Shower: Ceramic Tile Shower 48"x76" tile up to 7' height

Shower Valve: Delta "Woodhurst" shower valve **T14232/R10000**

Shower Door: **None**

Soaking Tub: **Oasis Geneva 3660** soaking tub

Soaking Roman tub filler: Delta "**Woodhurst**"

Lavatory: **Quartz Group 1** w/ undermount sinks (2)

Lavatory Faucet(s): Delta "Woodhurst" **2532LF-MPU** (2)

Toilet: Gerber **SE-20-102** round w/ seat

Sanctuary Lot #1

Specs. 11/10/2023

Page 2 of 7

Bath #2: Color: White; Finish: Chrome

Tub/Shower: Oasis **TS-6032** Fiberglass tub/shower.
Shower rod: Standard chrome
Tub/Shower Valve: Delta "Woodhurst" **T14432/R10000**
Lavatory: **Quartz Group 1** w/ undermount sink (1)
Lavatory Faucet: Delta "Woodhurst" **2532LF-MPU** (1)
Toilet: Gerber **SE-20-102** round w/ seat

Bath #3: Color: White; Finish: Chrome

Tub/Shower: Oasis **TS-6032** Fiberglass tub/shower.
Shower rod: Standard chrome
Tub/Shower Valve: Delta "Woodhurst" **T14432/R10000**
Lavatory: **Quartz Group 1** w/ undermount sink (2)
Lavatory Faucet: Delta "Woodhurst" **2532LF-MPU** (2)
Toilet: Gerber **SE-20-102** round w/ seat

Bath #4: Color: White; Finish: Chrome

Tub/Shower: Oasis **TS-6032** Fiberglass tub/shower.
Shower rod: Standard chrome
Tub/Shower Valve: Delta "Woodhurst" **T14432/R10000**
Lavatory: **Quartz Group 1** w/ undermount sink (1)
Lavatory Faucet: Delta "Woodhurst" **2532LF-MPU** (1)
Toilet: Gerber **SE-20-102** round w/ seat

Optional L.L. Bath #5: Color: White; Finish: Chrome

Tub/Shower: Oasis **TS-6032** Fiberglass tub/shower.
Shower rod: Standard chrome
Tub/Shower Valve: Delta "Woodhurst" **T14432/R10000**
Lavatory: **Quartz Group 1** w/ undermount sink (1)
Lavatory Faucet: Delta "Woodhurst" **2532LF-MPU** (1)
Toilet: Gerber **SE-20-102** round w/ seat

Kitchen: Sink: Elkay Sink **DCFU3118** Undermount Stainless Steel equal bowl 50/50.

Faucet: Delta "Essa" single handle pull out Artic Steel
Disposal: ½ horsepower Badger V disposal.
Ice maker line included. Dishwasher hookup included.

Laundry: Washer plumbing for future hookup included

Drain in laundry room
Faucet: Delta #2133

Basement and Miscellaneous:

One 75 gallon power vent natural gas hot water heater(s).
Number of outside lawn faucets: **2**.
Submersible sump pump with cover.
If colored baths are included, the color must be selected before framing and will cause an additional charge to the contract price.

11) Electrical: Service: 200 amp circuit breaker: underground.

“Decora” switches: color **White** and **standard Plugs.** Color: **White** standard

All openings governed by the prevailing electric code. All wiring, outlets, and switches are to be shown on electrical floor plan including **2** phone jacks, **4** cable TV. outlets, **2** weatherproofed outside electrical outlets and recesses lights per plan. Basement lights in unfinished areas to be porcelain switched together. Slide In Range: Gas Dryer: Electric.

Option for L.L. Finish per print

12) Light Fixtures: Per standard selections.

Light fixture allowance includes all fixtures, light bulbs, doorbell, ceiling fans, under cabinet lights, step lights, and accessories. Availability of light fixtures during final installation will be the responsibility of Buyer. Any late installation due to back-ordered fixtures or Buyer changes during final installation may result in an extra labor charge not included in bid. Owner to select based on electrical fixture selection schedule attached hereto.

13) Mirrors: Plate Glass Mirrors included in all Bathrooms. Mirrors to be sized to be 3” less than the width of the countertop and 42” high

14) Heating: Carrier 95% plus efficient forced air furnace with electronic ignition. Registers in floor. Outside air intake into plenum. Furnace fueled by natural gas. Outside venting for dryer, range, and baths included. Heating design to be governed by the prevailing mechanical code. Equipment and register locations to be determined and guaranteed by the heating contractor.

Central air conditioner..... Yes.

Humidifier Yes

Thermostat type Programmable Setback

Special gas lines..... HWH, Furnace, Fireplace, Range

Venting (5) single speed bath fans (1) variable speed w/6” duct venting

Option for L.L. Finish per print

15) Drywall: The project will be drywalled with all joints filled and taped. Knock down ceilings throughout the project.

Garage drywall complete: knock down ceiling.

Option for L.L. Finish per print

16) Concrete Flat Work: All concrete to be approximately 4" thick. Basement to be troweled smooth, garage semi smooth, all outside concrete to be broom finished with expansion and control joints to best control cracks. Shrinkage cracks are common and should be expected. Basement floor, per print. Garage floor per print, with minimum 2" slope to overhead door(s).

Apron.....29'-0" x 20'-0" per print

Drive.....16' wide concrete per print.

Approach..... 16' wide concrete with 2' flares.

Lead walk..... 3.5' wide concrete per print.

Steps.....1-step width of entry door

Sidewalk.....5' concrete per site plan

17) Deck: 12' x 12' Treated deck with 2x2 treated baluster railings included for decks or porches that are 30" or more above grade. **Note:** steps to grade are **Not** included.

18) Finished Flooring: Flooring as per attached schedule or selection of equal value.

Carpeting: Staires to second floor, Owners Suite, W.I.C., Bedroom #2, Bedroom #3, Bedroom #4, All Closets, 2nd floor Hallway, Stairs to Lower Level, Rec. room, Bedroom #5

Group#2 w/8 lbs. pad selections.

Ceramic Tile: Owners Bath floor, Shower, Stool room, Tub deck & surround. **Group#1 standard selections**

LVT/LVP flooring: Kitchen, Nook, Pantry, Mudroom, Laundry Room, Foyer, Flex Room, Bath #2, Bath #3, Bath #4, Lower level Bath #5.

Option for L.L. Finish per print

19) Cabinets: Wellborn Option for L.L. Finish per print

Group #2 standard selections: Kitchen & Master bath cabinets

Group #1 standard selections: All other Baths and Laundry

Cabinet hardware: Included on all cabinets.

Soft close doors and drawers: Included on all cabinets.

Crown molding: Standard selection included on Kitchen cabinets.

Note: medicine cabinets are not included.

The layout of cabinets and vanities are figured per the Builder's print. If the cabinet plan or selection should be changed from the Builder's print, there may be an additional cost (or credit) to Buyer for labor and materials to install the revised layout.

20) Interior Trim Option for L.L. Finish per print

Main Trim: Ultra lite 5 ¼" base, 3 ¼" casing, paint grade. "Craftsman Style"

Closet Trim: Ultra lite 3-1/4" base, 2¼" casing, paint grade. "Craftsman Style"

Garage Trim: Ultra lite 3-1/4" base, 2¼" casing, paint grade. "Craftsman Style"

Base shoe applied to all hard floor areas.

Closets: One rod, two MDF shelves, unless rods and shelves are shown differently on print.

Staircase: Closed Box Beam treads and risers. Balusters to be painted Poplar **LJ-5060**.

Newel post stained Poplar **LJ-4070** Handrail stainable **LJ-6010** At Great room and Foyer overlook.

Other section of stairwell to be ½ wall with MDF painted cap at second floor (per plan).

Basement stairwell to be finished with handrail, drywall, and carpet.

Special trim items: Bench in Mud room.

Crown: Standard crown on Kitchen cabinets per plan and selections.

21) Counter Tops:

Quartz Group #1 standard selections Kitchen Counter tops including Island, Owners Bath, Laundry Room top, Bath#2, Bath#3, Bath#4, & **Optional L.L. Bath#5**.

Laundry: Layout of counter tops are figured per Builder's print. If the layout of counter tops changes from Builder's print, there may be an additional cost to Buyer for additional countertop material and installation of the revised layout, back splashes, etc...

- 22) Appliances: G.E. Stainless Steel finish.**
French Door Refrigerator: **GFE26JYMFS or equal with ice & water**
30" Slide In Range: **JGSS66SELSS or equal**
30" Range hood: **JVW5301SJSS or equal**
Shelf Microwave: **JES1657SMSS or equal**
Dishwasher: **GDF535PSRSS or equal**

Appliances purchased from sources other than through the Builder must be installed by the supplier, except, Builder will install dishwashers supplied by others, but NOT other appliances. Builder will only install appliances ordered through the Builder. There will be an extra charge for nonconventional appliances such as built-in refrigerators, pop up cook top vents, panel doors on appliances, trim kits for appliances, etc... Availability of appliances during final installation is the responsibility of Buyer unless it is ordered through the Builder. Any late installation due to back orders or Buyer changes may result in an extra charge not included in bid. The installation charge for each appliance ordered through Giguere Homes is included in the appliance package order through the builder.

23) Painting: Interior walls: Finish paint all finished drywall walls except wallpapered areas unless otherwise specified. Painted ceilings are not included and are an extra charge item. Interior painting includes one coat of O'Leary flat latex primer and one coat of O'Leary 4100 Series **Ceramic** latex paint or equal, off-white color. Coverage of paint may vary depending on the color chosen. Sizing of walls for wallpaper is not included.

Interior trim: All exposed wood to be painted 2-6-1 White Pearl. Latex, satin finish Painted wood to have one coat primer, and one coat finish. Painted wood will be caulked. Shrinkage cracks in caulk are common, should be expected, and are considered a homeowner maintenance item.

Interior walls:

Closets: 2-6-1 White Pearl

Garage: Painted

(3) paint color(s) throughout home are included. Additional colors are \$200.00.

Stained wood to have one coat O'Leary Finishing or equal as determined by Builder, one coat sanding sealer, and one coat varnish.

Exterior: One coat Paint, except wolmanized lumber (and other maintenance free materials such as vinyl and aluminum), and caulk around windows and doors.

Deck flooring (if included in the contract) will not be painted or stained unless mutually agreed otherwise.

24) Grading: Backfilling will be sufficient to provide access for construction and grading to provide drainage away from the building. Any disturbed area that can be graded with a bulldozer on the building site within **30 feet** of building shall be rough graded at time of backfill and blade graded at completion. The builder is not responsible for settling around the house, trenches and so forth, after the building is occupied. Builder will include fill sand for garage, walkout, and porch. Builder NOT responsible for any existing tree dying except those planted and guaranteed by Landscape Company. **Landscaping and irrigation included per allowance.**

25) Extras: Any additions, extras, or changes made by buyer shall be on a WORK ORDER form and signed by both Builder and Buyer. Change order payments are due at the time of signature.

26) Selection Schedule: It shall be the obligation of Buyer to supply Builder with a signed copy of the selection schedule in a timely manner. Construction of home will not begin until all selection with final plan details are signed off by homeowner.

27) Utilities: Temporary power and utilities (electricity, natural gas, propane, water, etc...) will be placed in Builder's name during construction. The following costs are the Builder's responsibility. Utility hookups include public water, public sewer, storm sewer, underground electric and underground gas.

28) Plans: Cost of plan development included. If the Buyer requests custom changes, then the Buyer shall pay for design services. (see Design Agreement form).

29) Financing: Cost for financing **NOT** included.

30) Allowances: All allowances included. The allowance dollar amounts set on the specified items in this agreement are hereby agreed upon by both Buyer and Builder. The allowances are amounts which can be spent by Buyer for those selected items as denoted in these specifications. An allowance is set when Builder is unable to determine the exact cost of any product. An allowance item may cost less or more than the specified sum. If it is less, the Builder will refund the difference to Buyer.

31) Miscellaneous items/ Comments:

Vinyl Mailbox & paper holder.

Interior cleanup of construction debris included.

Exterior cleanup and haul away of construction debris included.

32) Special Allowance Summary:

Light Fixture	\$2,000.00 Allowance
Lot Clearing	\$3,000.00 Allowance
Appliances	\$4,500.00 Allowance
Landscaping	\$10,000.00 Allowance